



17 Lippell Drive

Plymstock, Plymouth, PL9 9EL

£250,000



A conveniently located semi-detached split-level bungalow in a highly popular position close to central Plymstock. The accommodation briefly comprises an entrance hall, an open-plan 'L-shaped' lounge/dining room, kitchen, 2 generous double bedrooms, bathroom & ensuite shower room to bedroom one. Externally there are front & rear gardens, driveway & garage. Double-glazing & central heating. Views over the water towards Plymouth. No onward chain.



LIPPELL DRIVE, PLYMSTOCK, PL9 9EL

ACCOMMODATION

Front door opening into the entrance hall.

ENTRANCE HALL

Providing access to the accommodation. Steps providing split-level access to the top level where this is a double cupboard with an additional cupboard above housing the consumer unit and electric meter.

LOUNGE/DINING ROOM 16'11 x 15'7 max dimensions (5.16m x 4.75m max dimensions)

An open-plan 'L-shaped' room which is dual aspect with 2 windows to the rear elevation overlooking the garden and a window to the front providing lovely views over the water towards Plymouth Hoe. Fireplace. Ample space for seating and dining. Doorway opening into the kitchen.

KITCHEN 10'11 x 8'6 (3.33m x 2.59m)

Fitted with a range of base and wall-mounted cabinets with matching work surfaces and tiled splash-backs. Stainless-steel single drainer sink unit. Inset hob with a cooker hood above. Built-in oven. Space for free-standing fridge-freezer. Space for slimline dishwasher. Integral washing machine. Wall-mounted Ideal gas boiler. Inset ceiling spotlights. Window to the side elevation. Partly-glazed door to the rear leading to outside.

BATHROOM 8'6 x 5'6 (2.59m x 1.68m)

Suite comprising a bath, wc and basin with a cupboard beneath. Matching wall cabinet with a mirror above the basin. Towel rail/radiator. Partly-tiled walls. Obscured window to the side elevation.

BEDROOM ONE 12'11 x 9'10 (3.94m x 3.00m)

Window to the front elevation with lovely views. Doorway opening into the ensuite wc.

ENSUITE SHOWER ROOM 9'9 x 2'11 (2.97m x 0.89m)

Fitted with an enclosed tiled shower with a glass door, pedestal basin and wc.

BEDROOM TWO 11'10 x 9'11 (3.61m x 3.02m)

Window to the side elevation.

GARAGE 16'4 x 8'2 (4.98m x 2.49m)

Up-&-over door to the front elevation. Power and lighting.

OUTSIDE

A driveway provides access and runs alongside the bungalow accessing the garage. A separate pathway leads to the main front entrance. The front garden has an area laid to lawn with bordering shrubs. The rear garden, enjoys a south-easterly aspect, is stocked with a variety of mature shrubs, together with a decking area laid adjacent to the property.

COUNCIL TAX

Plymouth City Council
Council tax band C

SERVICES

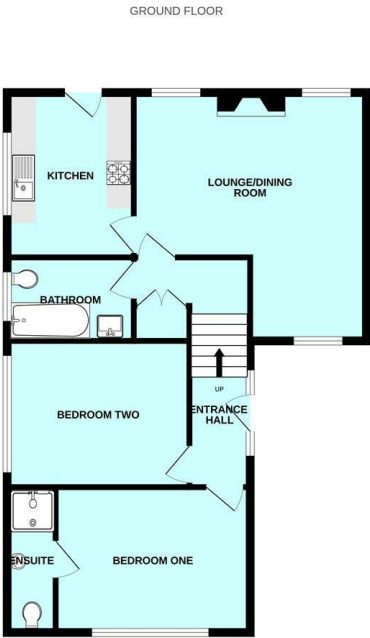
The property is connected to all the mains services: gas, electricity, water and drainage.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

Area Map



Floor Plans



Energy Efficiency Graph

